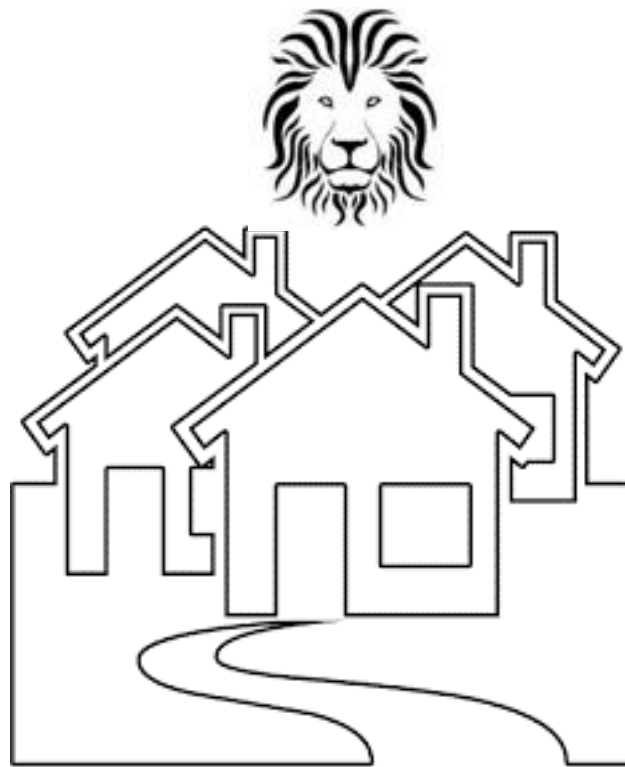


LIONS HEAD SOUTH

Architectural Regulations



Revised
09-92
05-97
09-98
09-99
10-02
01-05
11-05
03-08
06-12
12-15
08-24

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DEFINITIONS

COMMON PROPERTIES – All areas of Lions Head South that are not titled to individual unit owners.

RESIDENTIAL BUFFER ZONE – those sections of property to the rear or side boundaries owned by the unit owner containing trees or other vegetation (previously known as Green Area).

ARCHITECTURAL CHAIRPERSON – individual appointed by the Board of Trustees to oversee the committee.

ARCHITECTURAL COMMITTEE – members of the committee approved by the Board of Trustees.

DECIDUOUS TREE – A deciduous tree is one that drops leaves before becoming dormant in the winter, not an evergreen.

PLANTING SEASON – between April 1st – November 1st.

THREE (3) FOOT FOUNDATION AREA – area surrounding the sides and front of the house.

ATTENTION

Failure to submit an application and have it reviewed by the Architectural Committee prior to the start of any work will result in the issuance of a fine, the amount to be determined by the Board of Trustees.

The fine will be imposed regardless of the final approval of the alteration or addition by the Architectural Committee.

ARCHITECTURAL REGULATIONS

(Revised August 2024)

I. RATIONALE

The Architectural Rules and Regulations provide the means through which architectural integrity and landscaping can be achieved and controlled in the manner that all residents desire and expect. **Architectural Integrity** includes proper maintenance of the living unit such as, but not limited to, well maintained and clean siding; landscaping includes, but is not limited to, properly weeded shrub and foundation beds. Compliance with these items shall be based on the discretion and judgment of the Architectural Committee. Any proposed external improvements or changes to a living unit shall be, as determined by the Architectural Committee and as defined herein, compatible with the architectural characteristics of the house, its construction details and the landscaping.

The Architectural Regulations, **to which each individual unit owner subscribed upon purchase of a home**, are designed to keep the community and Common Properties in a perpetual state of order and beauty.

Architectural Regulations, properly exercised, protect property values and preserve an attractive and harmonious design setting for the community.

II. RESTRICTIONS ON COMMON PROPERTY USES

Common properties are all the areas of Lions Head South that are not titled to each unit owner. They include the Clubhouse, Country Club and surrounding recreation areas, the wooded areas, which form a buffer on the perimeter of the community and areas defined in the Policies 8.1.1.2. Every unit owner is part owner of the Common Properties; this does not include “Residential Buffer Zones”. (see Sec. III)

All Common Properties shall be left in their natural state, as required by Brick Township, the State of New Jersey and the Covenants governing Lions Head South.

The New Jersey Department of Environmental Protection, under NJ State Act 13:19:1 et sig., the Coastal Area Facility Review Act (CAFRA) requires that Common Properties remain in their natural state since the natural vegetation retains the surface soil and allows for maximum water absorption. CAFRA has the power to fine individuals who violate this provision. Brick Township requires a one-for-one replacement of all trees in the Common Areas.

Violations concerning Common Property usage may also result in fines from Lions Head South.

The Architectural and Buildings & Grounds Committees has been granted power by the Board of Trustees to issue fines for violations concerning the use of the Common Properties.

No trees or shrubs shall be removed from the Common Properties without an approved application from the Architectural Committee. Where the natural growth is sparse, the planting of native trees, shrubs and evergreens in the Common Properties is permitted with the approval of the Architectural Committee. A list of approved trees is attached. (Attachment 1).

Vegetable gardens are **not** permitted in the Common Properties. Flowers may be planted on the edge of the Common Property where it meets the grass area. In addition, to leave access to the lawn mowing

equipment, where possible a grassy border must be maintained between the patio and the residents' property line. The addition of stones, pavers, or rock beds must be approved by the Architectural Committee prior to installation.

Common Properties shall not be used for the placement of synthetic objects, including but not limited to patios, blocks or walkways, picnic tables, barbecues, firewood, benches, furniture or rock gardens. It may not be used as a storage area. This list is not all inclusive.

Birdbaths and bird feeders may be placed at the edge of the Common Property where it meets the grass area.

Permanent survey markers, marked by a Certified Surveyor, cannot be removed. Removal of markers will result in a fine equal to the cost of replacing the markers.

A map of the Common Properties is attached (Attachment 2).

III. RESIDENTIAL BUFFER ZONES

Residential Buffer Zones (formally known as Green Areas) shall include those sections of property to the rear or side boundaries owned by the unit owner and containing trees and/or other vegetation that was preserved and/or planted by the developer. Residential Buffer Zones shall be left in a natural state, except that dead vegetation may be removed and suitable replacements planted. Trimming shall be the unit owners' responsibility. Brick Township refers to these areas as Buffer Zones.

No trees or shrubs shall be removed from the Residential Buffer Zones without the approval of the Architectural Committee, which shall include an on-site inspection. Brick Township must also approve all tree removals. If overgrown trees/shrubs are allowed to be removed, and if deemed necessary to preserve Residential Buffer Zones, suitable replacements on a one-to-one basis, of Evergreens, shrubs or small trees (as per the approved list) must be planted to maintain a privacy screen. (Brick Township Chapter 245, Part 5, Article XLIX, 245- 409).

The individual homeowner owns the Residential Buffer Zones. Prior to any plantings or trimmings, an Architectural application is required. Trimming of the trees or vegetation and plantings may be completed after proper authorization is received by the Architectural Committee.

Patios, poured concrete, picnic tables, barbecues and firewood may not be placed in the Residential Buffer Zones. This list is NOT all-inclusive.

Therefore, to protect the privacy capabilities of the Residential Buffer Zones, all regular and emergency maintenance in the Residential Buffer Zone requires prior approval and the following applies:

- All work in a Residential Buffer Zone must be approved in advance by the Architectural Committee.
- The request package must include a detailed plan of what will be done.
- Trees must be replaced on a one-to-one basis.

IV. BRICK TOWNSHIP AND LIONS HEAD SOUTH REGULATIONS

Any permanent additions/alterations or extensions to living units shall conform to the Brick Township Building Code, as follows, before the Architectural Committee can approve an application:

Minimum front yard setback	25 feet
Minimum side yard setback.....	6 feet
Minimum rear yard setback	20 feet
Minimum rear yard porch setback.....	15 feet

All unit owners shall abide by these Regulations. Architectural Regulations supplement the Covenants, By-Laws, and the Policies, Rules and Regulations. The By-Laws outline “Rights in the Common Properties” and list “Restrictions” which all unit owners must follow.

To implement these Architectural Regulations, the Board of Trustees appoints an Architectural Committee Chairperson. The opinions of an individual Committee member are not official or binding on the Committee as a whole. Refer to By-Laws 5:2 Guidelines.

V. APPLICATIONS FOR ADDITIONS/ALTERATIONS

Additions/alterations fall into one of two categories:

- (1) Exterior property additions/alterations requiring an application to the Architectural Committee. Refer to Architectural Regulations – Table of Contents.
- (2) Exterior property additions/alterations which do not require an application to the Committee. Refer to Architectural Regulations – Table of Contents.

These regulations deal with the more common exterior additions/alteration. **They are not all inclusive. Any** change or alteration, except those specifically listed under “Applications Not Required”, requires that an application be presented to the Committee. Approval or disapproval is at the discretion of the Committee.

VI. APPLICATION PROCEDURES

Unit owners shall obtain one (1) application from the office or LHS Website and return it with a sketch (when required) to the office. Sketches are required for patios, porches, window changes, driveways, landscaping, canopies, awnings, and lamp posts.

Applications shall include details such as the shape, total dimensions, location of the addition/alteration, and materials. Color swatches must be attached. The applicant must sign and date the application.

All proposed additions/alterations shall be compatible with the architectural characteristics of the house, the neighborhood setting, color and construction details.

Applications shall be submitted no later than seven (7) business days before the monthly meeting. Action on applications is usually completed by the tenth of each month. Approved

applications shall expire at the end of the calendar year submitted, after which a new application shall be required.

If an application is denied by the Architectural Committee, or if a unit owner disputes an Architectural Committee requirement, he/she may, via written appeal within thirty (30) days, seek a hearing before the Architectural Committee.

If, following the hearing, the Architectural Committee denies the appeal, the unit owner may, via a written appeal within thirty (30) days, seek a hearing before the Board of Trustees. Representatives of the Architectural Committee shall be present at this hearing. The decision of the Board of Trustees shall be final.

VII. ADDITIONS/ALTERATIONS MADE WITHOUT APPROVAL

Any unit owner who has made additions/alterations to his/her property without the written approval of the Architectural Committee will be notified by the Committee to submit an application for consideration by the Committee; the owner will also be subject to a fine. The Architectural Committee will confirm if the change is within guidelines or not and will either Approve or Disapprove the application.

If the application is disapproved, the applicant shall be notified that the disapproved alteration/addition must be removed at his/her own expense within thirty (30) days. A unit owner who disagrees with the Architectural Committee's decision may file a written appeal with the Board of Trustees within ten (10) days after the application is disapproved and seek a hearing concerning the application.

If the Board of Trustees denies the appeal, the disapproved alteration/addition shall be removed within thirty (30) days of the hearing or a fine, as per By-Law Article IX, Section 20 Rules and Regulations 1.15 shall be levied on the unit owner.

VIII. INSPECTIONS BY ARCHITECTURAL COMMITTEE

Architectural Committee members shall have the authority to enter upon any lot to inspect additions/alterations or to check for violations of the Architectural Regulations.

IX. SPECIFIC ADDITIONS/ALTERATIONS

At the discretion of the Architectural Committee, approval of a specific addition/alteration shall not automatically assure approval of a similar application.

X. COMMENCING WORK

Work on an addition/alteration shall not start until written approval by the Architectural Committee has been received by the Unit Owner. Approved LHSA Architectural permits must be displayed in the front window/door until the completed work has been checked by a member of the Architectural Committee.

Failure to comply with the Architectural Regulations will result in the issuance of a fine by the Board of Trustees, the suspension of a unit owner's membership benefits and/or legal recourse against the unit owner.

XI. APPLICATIONS REQUIRED (details follow this list)

A. **List:** An application to the Architectural Committee is required for the projects listed below. **This list is not all-inclusive.** Any addition/alteration requires an application to the Committee except those listed under “Applications Not Required”.

1. Roofs, Windows and Frames, Siding, Gutters and Downspouts, Soffits, Garage Doors, Driveways (sketch required), Sidewalks, House re-siding or re-painting (color chip required)
2. Patios (survey required)
3. Porches (survey required)
4. Greenhouse Windows
5. Cupolas and Weathervanes
6. Plantings and Landscaping (sketch required)
7. Plantings at Corner Properties (sketch required)
8. Raised Garden Bed
9. Garage Window Fans
10. Front Door Walkway Extensions – Hawthorne (sketch required)
11. Color of House Entrance Door
12. Screens for Garage Doors
13. Permanent Exterior Lighting (sketch required)
14. Railings/Patio Fencing (sketch required)
15. Canopies and Awnings (sketch required)
16. Front Door Enclosures
17. Lawn Lamp Posts (sketch required)
18. Satellite Dishes and Antennas
19. Solar Panels
20. Tree Trimming
21. Planting in Residential Buffer Zone or Common Properties
22. Generators
23. Electric Vehicle Charging Stations

B. Details:

1. Roofs, Windows and Frames, Siding, Gutters and Downspouts, Soffits, House Trim, Garage Doors, Driveways, Sidewalks, House Residing or Repainting (color chip required)

The repair/replacement of these items shall be the responsibility of the Unit Owner. Replacement materials shall be of equal or better grade and shall meet the requirements of Lions Head South Architectural Committee, Brick Township Building Codes and the Coastal Area Facilities Review Act (CAFRA), if applicable.

- a. Roofs shall be shades of gray or brown. (sample color swatch is required)
- b. Windows, frames, gutters, downspouts, soffits, house trim, and garage doors must be white.
- c. Applications for new or replacement windows must contain the full description of the glass being installed. If the window glass is Low Energy High efficiency, they must have full Solar Energy Diffusion screen or film covering the glass areas.
- d. An application, including a color chip shall be submitted for approval to replace or to paint house siding, cedar shakes or bricks.
- e. Driveway Extensions – the original concrete driveways installed by the builder may be extended to a maximum of twelve (12) feet. The original width may be divided equally on either side or constructed on one side of driveway. Driveways may be extended as follows:
 - Concrete: the extension must be steel reinforced concrete with a four (4) inch minimum thickness. Stamped concrete is acceptable but concrete must be the natural color.
 - Brick and Paving Stones: the installation shall be in accordance with the manufacturers' recommendations and instructions.
 - A brochure with a color chip must be submitted.

Brick Township permits are required. **No** raised edging blocks, wall blocks, hedges, stones, drainpipes, fences of any material, landscape/solar lighting or any object that creates an obstacle to lawn maintenance shall be permitted along the edges of the driveway.

- f. The painting of driveways and walkways is NOT permitted. Other concrete areas may be painted as follows.
 - Concrete rear patios may be stained or painted grey or terracotta.
 - The front porch of the Austin or Walden house may be either stained or painted up to the wood expansion joint of the porch. Color choices may be white, off-white, light gray, or light tan. A color chip must be submitted with the application.
 - The front step of the Hawthorne model may be stained or painted, and the color choices shall be the same as above. Safety strips may be painted or applied to the entrance step.
 - All other concrete areas shall be left in their natural state.
- g. THE MAINTENANCE OF INDIVIDUAL SIDEWALKS IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
- h. Houses or mailboxes must be numbered (Preferably both).

2. Patios (sketch required)

Patios may be constructed of concrete, patio blocks, slate, tile, brick or paving stones and shall be installed at ground level only. Wood is not permitted. Other materials may be permitted at the discretion of the Architectural Committee. Any patio changes require a permit from Brick Township. Patios are limited to a maximum of ten (10) feet from the foundation of the house and may extend the width of the house. A sketch and listing of the materials to be used must be submitted with the application.

Rear patios constructed of reinforced concrete, shall have a minimum thickness of four (4) inches with a thickened perimeter base where needed to accommodate changes in ground elevations. Concrete patios may be stained or painted concrete gray or a shade of terracotta; the color choice is to be coordinated with the existing landscape/hardscape materials and must be submitted with the application. Stamped concrete is permitted. White vinyl pre-molded expansion joint material shall be used where needed.

Slate shall be installed on concrete with grouted tooled joints.

Tile shall be of skid resistant finish and not imbedded, but attached to the concrete base, using acrylic fortified mortar per manufacturers' instructions. Tile shall not be on a sand base only.

Patio blocks and brick pavers must be placed on a sand base and installed according to the manufactures' guidelines. All vegetation and compressible soil must be removed and replaced with a bank-run composed of sand and gravel, well compacted to obtain a firm base, with a leveling top layer of sand. All patio extensions shall continue the cross slope of the existing concrete patio slope to ensure proper appearance and drainage.

A sketch showing the proposed patio extension, existing and relocated sprinkler heads and lines, must be included with the application. Patios may not cover any sprinkler lines. Any damage to the sprinkler system and the replacement of damaged sod shall be the responsibility of the homeowner.

Applications for sprinkler issues are available in the office.

Permanent outdoor carpeting may not be installed on the patios.

3. Porch Extensions (sketch required)

Porch extensions shall be permitted only on the Marlowe or Thoreau Models; porch additions shall be permitted only on the Emerson IV Model. All extensions are subject to Brick Township set-back requirements.

4. Greenhouse Windows

Greenhouse windows are restricted to the sides or rear of homes only and restricted to a maximum depth of twelve (12) inches.

5. Cupolas and Weathervanes on Roofs

Cupolas and/or weathervanes shall be limited to a maximum of thirty-three (33) inch height.

6. Plantings and Landscaping (sketch required)

All homes are required to have front foundation landscaping.

Approval is not required for planting shrubs in the three (3) foot foundation areas around the houses. No plantings are allowed along the length of the back patio. The side and rear foundation bed depth shall not exceed three (3) feet. The corner of the house foundation plantings may not exceed four (4) feet. Oversized lots shall be given special consideration for extended plantings upon receipt of an application and approval by the Architectural Committee.

An Architectural Application is required for tree trimming.

If a tree needs to be removed because it is diseased, dying, dead or hazardous an application is required by the Architectural Committee. The approved Architectural Application including a Brick Township permit application must be submitted to the township. The township will inspect and contact you directly to pick up your approved permit once inspection has been concluded. A copy of the township permit must be submitted to the office for your property file. **Approved applications and township permit must be received prior to any action being taken.**

Replacement tree varieties and height must follow Brick Township requirements. Trees cannot be replaced with bushes. (Attachment 1).

Tree plantings may be protected with green vinyl coated landscaping type fencing, specifically designed to protect plants. It may be placed around new plantings during the first year of planting and may not exceed four (4) feet in height. It must be removed by May 1 of the year following the planting. Chicken wire, construction fencing, snow fencing, or any other types of fencing are not allowed. This applies to all Residential, Common Property areas and Lions Head Country club planting areas.

Approval is required for the planting or replacing of trees in the foundation or lawn areas. If a tree is removed from the foundation area and the township requires replacement, only dwarf varieties of trees are permitted. Unit owners are advised to contact the Architectural Committee for recommendations and to review the Brick Township approved tree listing (Attachment 1). The selected tree must be named on the application.

Edging around foundation areas and trees shall be limited to ten (10 inches in height). Corn or tall varieties of sunflowers shall not be planted in foundation areas or in the Common Properties.

Bedding areas around trees shall be a maximum outside dimension of five (5) feet (including edging material) and may be shaped as a circle, oval or square. Ovals shall be parallel to the street. Free form designs such as tear drops, or banana shapes are not permitted. If small landscape stones are used as top dressing, the edges shall be defined by a barrier to keep the stones from getting on the lawn.

Trellises shall also be permitted within the three (3) feet foundation area to the sides and back of the house, also in the space between the front windows of the Hawthorne model house and the front garage sidewall of the Austin/Walton models.

No artificial flowers shall be permitted in the bedding area, including the foundation and lawn areas, around trees, lawn lamp posts or mailbox posts. Seasonally appropriate artificial plants in pots are permitted but must be maintained.

All landscaping or plantings in the lawn areas shall require Architectural Committee approval to insure proper sprinkler operation and lawn maintenance. A sketch showing the location of sprinkler heads shall accompany all applications.

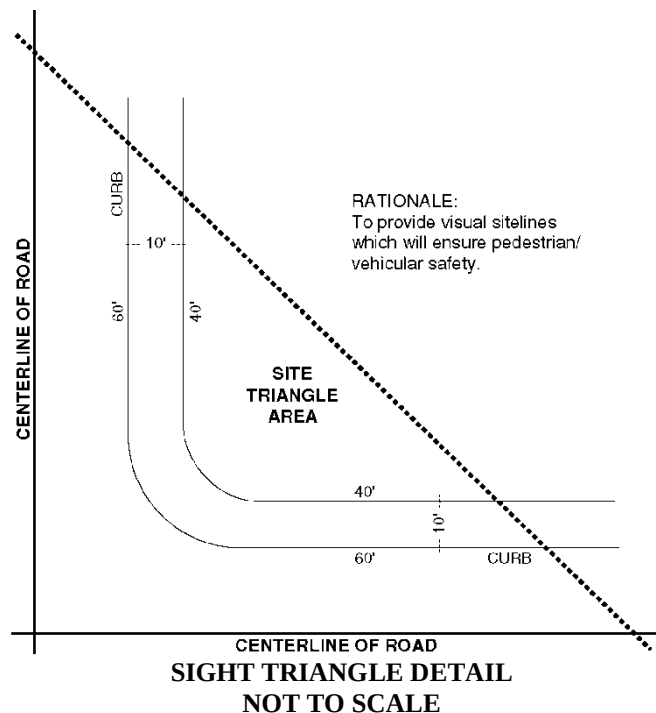
A street tree is required on each front lawn (Brick Township regulation). Each lot shall one deciduous tree on the street side of the dwelling. A deciduous tree is one that drops leaves before becoming dormant in the winter, not an evergreen. The tree shall have a minimum height as specified in the Brick Township regulations. It shall be planted so as not to interfere with the sprinkler system and shall be located at least fifteen (15) feet and no more than eighteen (18) feet from the curb and within an area bound by the width of the house.

Poplar, Birch, Weeping Willow, Bradford Pear and Arborvitae trees **are prohibited**. See approved Tree List from Brick Township. The height of the tree must comply with Brick Township requirements.

7. Plantings on Corner Properties (sketch required)

No plants, shrubs or flowers higher than thirty-six (36) inches above the curb level are permitted in the sight triangle easement on corner lots. As outlined in the Brick Code 190-215, and on the Site Plans for Lions Head South, such easements are shown in the diagram below.

A small deciduous tree, subject to the approval of the Architectural Committee, may be planted in the Sight Triangle Area, provided that said tree shall be kept trimmed at all times so that no limbs are lower than seven (7) feet above ground level.



RATIONALE:
To provide visual sitelines
which will ensure pedestrian/
vehicular safety.

A small deciduous tree, subject to the approval of the Architectural Committee, may be planted in the Sight Triangle Area, provided that said tree must be kept always trimmed so that no limbs are lower than seven (7) feet above ground level.

8. Raised Garden Beds

Raised Garden Beds may be installed in the rear of the property between the Residential Buffer Zone of the two (2) houses or between the Residential Buffer Zones and Common Properties. Permits are required by Brick Township. The “raised garden bed” is a non-permanent structure at a minimum height of eighteen (18) inches height; the width is dependent on the individual property lines and drainage requirements. A sketch of the planting bed and the materials to be used must accompany the application.

9. Garage/Window Fans

Removable, flush mounted or behind the screen mounted type window fans may be used in the garage window during the summer season. Window fans or air conditioning units that extend beyond the sill of the window are not permitted. Window fans or air conditioners may not be installed in the wall.

10. Front Door Walkway Extensions – Hawthorne Model (sketch required)

The front door walkway, leading to the driveway, may be extended to a maximum of thirteen (13) feet measuring from the front door to the driveway. The curve of the walkway is to be a maximum of ten (10) feet from the door. Sketches must be submitted with the Architectural Application. A Brick Township permit is required.

11. Color of House Entrance Door

The main entrance door to houses shall, at the discretion of the Architectural Committee, be of a color compatible with the exterior of the house.

12. Screens for Garage Doors

Roll-up garage door screens (fiberglass fabric) are permitted. White framed fine mesh portable ventilation screening with a maximum height of Twenty-eight (28) inches may be used beneath garage doors.

13. Exterior Lighting (sketch required)

Any exterior lighting, either on the building itself or around the foundation shrubs and walks, shall be located within the confines of approved flower beds so as not to interfere with normal seasonal lawn maintenance operations.

Such lighting shall be located and shielded so as to prevent a glare upon neighboring residences and nighttime drivers. Temporary holiday lighting requires no application but shall conform to the same restrictions

Exterior lighting must also comply with Brick Township laws.

14. Railings/Patio Fences/Fences (sketch required)

A decorative railing may be installed **on** the front extended step of the Hawthorne model homes or **on** the rear patios of all the model homes. A decorative railing may be installed **on or abutted against** the porches of the Austin or Walton models and shall not exceed beyond the wood expansion joint of the porches.

On the rear patios, decorative railings may not exceed beyond the patio and shall be limited to a maximum height of four (4) feet from ground level. Post heights may not exceed fifty-four (54) inches from ground level. The railings must be either on the patio or abutted against the patio. The colors are limited to white and black. A sketch must be submitted with the application.

Fencing, designating property lines is prohibited.

Information concerning fencing around foundation plantings can be found in Plantings and Landscaping, page 7.

Information concerning raised garden beds can be found in Raised Garden Beds, page 10.

15. Canopies and Awnings (sketch required)

Awnings shall be permitted on the rear patio of the houses and shall be the roll-up type with no ground support. They shall be color coordinated with the color of the house siding. Patio awnings are limited to the depth and length of the patio, but in no case shall it exceed the width of the approved patio.

16. Front Door Enclosures

Front door enclosures are not permitted.

17. Lawn Lamp Posts (sketch required)

Applications for lawn lamp posts shall be accompanied by a location diagram and description or brochure of the lamp post to be installed. The area around the lamp post must be circular or square and limited to eighteen (18) inches either in diameter or length and width respectively. Edging around lawn lamp posts is limited to a height of four (4) inches. A licensed electrician must install lamp posts.

18. Satellite Dishes and Antennas

Provided that adequate reception can be obtained, it is recommended that satellite dishes be installed on the rear roof of the home below the ridgeline. If reception is not adequate in that location, dishes may be installed elsewhere on the roof or on the ground on the sides of the home within three (3) feet of the foundation towards the rear of the house.

Antennas may be mounted on the roof with the same considerations as satellite dishes.

Should the installer recommend trimming of trees to obtain reception, a detailed description must be provided and submitted to the Architectural Committee for approval prior to any trimming taking place. Trimming must be accomplished by a professional tree service at the homeowners' expense. Also, trimming of trees in Residential Buffer Zones requires an application.

19. Solar Panels

The Architectural Committee must approve solar panels. Permits are also required by Brick Township. Solar panels must be flat following the contour of the roof. Panels are to be installed only on the roof and not in any other location. Trees must not be altered in any way without written approval from the Architectural Committee.

20. Tree Trimming

Tree trimming by individual unit owners or professional tree trimmers is allowed only with prior approval from the Architectural Committee. Trees may be trimmed to allow access to lawn maintenance personnel but may not be trimmed higher than five (5) feet. This applies to Residential Buffer Zones, Common Properties and the Lions Head Country Club.

21. Planting in the Residential Buffer Zone or Common Properties

Plantings of small plants or flowers may be planted at the edge of these areas but not beyond the stakes defining the boundary line.

22. Generators

Generators may be installed but must follow Brick Township requirements; a permit is required from Brick Township. The Architectural Committee also requires prior approval. The owner is responsible for ensuring that a licensed electrician completes the hook-up as per established guidelines. Proof of township permit must be submitted to the Administrative Office. Portable generators must be stored in the garage.

23. Electric Vehicle Charging Stations

LHSA Reserves the Right to Require a Recordable Indemnification Agreement

Prior to Installation:

Architectural Application must be completed and approved.

- Application must include EV Charging Station Location.
- Application must include Electrical Contractor Contact and Current NJ State License Number.
- Within 14 (fourteen) days of approval and prior to installation, residents must submit a copy of the homeowner's liability overage policy in the amount of \$100,000.00.
- The Association may require the owner to carry a policy in excess of \$100,000.00 if the Association's governing documents or rules and regulations require owners to carry a greater amount.
- LHSA shall be named as a certificate holder with the right to receive a notice of cancellation.
- Policy owner shall hold harmless LHSA and adjoining structures.
- Failure to produce coverage LHSA may procure insurance. Insurance to be charged back to residential owner.
- Brick Township Electrical Code Enforcement Permit must be completed and approved.

At Completion of Installation:

- The administrative office must be informed.
- Architectural Committee inspection.
- A copy of the township final inspection permit must be submitted to the office for the property file.

Re-Sales:

- The bill imposes upon the owner, and each successive owner of an EV charging station the responsibility for disclosing to the prospective buyers the existence of the owner's EV charging station and the related responsibilities of the owner.
- The bill requires the owner and each successive owner of an EV charging station to maintain a homeowners liability coverage policy in the amount of \$100,000.00.
- The Association may require the owner to carry a policy in excess of \$100,000.00 if the Association's governing documents or rules and regulations require owners to carry a greater amount.
- LHSA shall be named as a certificate holder with the right to receive a notice of cancellation.
- Policy owner shall hold harmless LHSA and adjoining structures.
- Failure to produce coverage, LHSA may procure insurance. Insurance to be charged back to residential owner.

XII. APPLICATIONS NOT REQUIRED

A. **List:** An application to the Architectural Committee for the projects listed below is NOT REQUIRED. ALL RESTRICTIONS MUST BE FOLLOWED. **Any variations from the specifications given for the following projects shall require an application.**

1. Free-standing Flagpole
2. Outdoor Firewood Storage
3. Mailbox, Mailbox Post/Borders, Edgings and Planting Beds at Base of Post
4. Decorative Window Shutters
5. Window Flower Boxes
6. Painting (**white only**) of Garage Doors and House Trim
7. Lawn Decorations
8. Wind Screens Around Plantings
9. Propane Tanks
10. Dumpsters (Must Obtain an Administrative Permit)
11. Storage Containers (Must Obtain an Administrative Permit)

B. Details:

1. Free-Standing Flagpole

The total height of a flagpole from ground level shall be limited to twenty (20) feet. Its color shall be white or aluminum and installed according to manufacture specifications. Yard arms (cross arms) shall be permitted. Care shall be taken to protect sprinkler lines and heads. Flagpoles must be professionally installed and secured as per manufactures guidelines.

2. Outdoor Firewood Storage

Firewood shall be stored at the **rear** of the house, and in such a manner so as not to interfere with seasonal maintenance or sprinkler operation.

Log holders may be used on the front porch of the Austin and Walton model homes, under the roof extension in front of the Hawthorne model garage and in the courtyard of the Emerson, Thoreau and Marlowe model homes.

To prevent termite infestation, firewood **must** be stored on racks above ground level and that the firewood is not in contact with the home.

3a. Mailbox – Mailbox Post

All curb-line mailboxes shall conform to the U.S. Postal regulations.

Mailbox posts may be a natural wood stain, black, white, brown, green or gray; to coordinate with the house color.

The following types of mailbox posts shall be permitted:

- Pressure treated wood
- Cedar wood
- Plastic covered pressure treated wood
- Solid vinyl/plastic
- Metals – Wrought Iron, Cast Aluminum or Steel
- Molded one-piece mailbox/post

3b. Borders, Edgings and Planting Beds at Base of Mailbox Post

Borders edging blocks and planting beds shall be restricted to the area from the curb to the sidewalk, and to fifteen (15) inches on either side of the mailbox post. Hardscape materials may be paving stones, brick, stones and edging blocks, limited to four (4) inches high. Poured concrete shall not be permitted. Poured concrete or plastic-coated wire types of edging or screening is not permitted.

Bedding plants may be ground covers or low-growing varieties of flowers which will not exceed 12 inches in height. Vines and tall, floppy plants that require staking shall be prohibited. Flowerpots are not permitted.

4. Decorative Window Shutters

Shutters, color-coordinated to the house siding, may be installed.

5. Window Flower Boxes

Window boxes shall be constructed of stained redwood, cedar wood or plastic. Plastic window boxes shall be white or color-coordinated with the house siding.

Window boxes shall be restricted in size to eight (8) inches in height and depth. They shall not exceed the width of the window.

6. Lawn Decorations

Decorative lawn objects shall be defined as all forms of sculptures and statuary, including non-traditional flowerpots designed in the shape of figures. These objects may be located within the foundation planting areas or edged lawn-bedding areas. They shall not be placed on grass areas. A maximum of five (5) decorations shall be permitted. They shall be limited to eighteen (18) inches in height, except that two (2) of the five (5) may be up to thirty-six (36) inches.

7. Wind Screens Around Plantings

New, clean burlap or synthetic fabric may be used as cold weather shields for exposed planting beds. These shields shall be limited to brown, green or black in color, constructed in a neat and sturdy manner, and affixed evenly and tightly to supportive stakes of uniform design and size. The shields and stakes may not be installed before November 1st and must be removed by May 1st.

8. Vegetable Gardens

Vegetable gardens are limited to the three-foot-wide rear foundation planting area of the house or the side area from the rear of the air conditioning unit to the rear of the house or an equivalent area on the opposite side of the house. Protective screening of synthetic fabric and supportive stakes, no higher than four (4) feet, may be used during the planting season only, which is April 1st through November 1st. Vegetable gardens in the Common Properties are NOT permitted.

9. Propane Tanks

A maximum of one (1) propane tank may be stored on the patio.

10. Dumpsters

Dumpsters, used for construction purposes, may be placed in the driveway for a maximum of one (1) month. Prior approval, with both installation and removal dates, must be submitted to the Administrator. A permit will be issued for the specific period. If additional time is needed, the Administrator must be notified so a revised permit can be provided.

11. Storage Containers/Pods

Temporary storage containers, used for packing and unpacking, may be placed in the driveway for a period of fourteen (14) days. Prior approval from the Administrator, with the scheduled delivery and removal dates, is needed so a permit can be issued.

XIII. PROHIBITED ADDITIONS/ALTERATIONS

A. List: The following addition/alterations are prohibited:

1. Air Conditioners in Windows or Walls
2. Exterior Jacuzzi/Hot Tub
3. Gazebos
4. Signs
5. Fences or Markers along Property Lines
6. Arbors
7. Screen Houses
8. Lawns not Composed of Grass
9. Pools
10. Outdoor Carpeting in Front of House
11. Painting of Border Rocks or Stones
12. Fire Pits/Chimineas

B. Details:

1. Air Conditioner in Windows or Walls

Air conditioners installed either in windows or walls are prohibited.

2. Exterior Jacuzzi / Hot Tub

No outside Jacuzzi or Hot Tub is permitted.

3. Gazebos

No Gazebos shall be permitted.

4. Signs

No signs of any nature shall be erected or displayed upon any property, except when prior written approval of the size, shape, content and location has been obtained from the Board of Trustees. (See Rules and Regulations concerning Political Signs).

5. Fences or Markers along Property Lines

No fences, or objects such as blocks or markers of any type shall be permitted on the grounds of any lot as a property division line. (By-Laws).

The only exception to this is the permanent markers that have been placed by certified surveyors. Green Stakes separating private property and Common Properties must remain in place. Removal of green stakes will require re-surveying of property lines which will be charged to the homeowner.

6. Arbors

Arbors are not permitted. Arbors are defined as a vertical structure in landscape or garden that can provide shelter, privacy, shade, or as an accent to support vines or other climbing plants.

7. Screen Houses

Screen houses shall not be permitted on any lot.

8. Lawns Not Composed of Grass

All lawns not created from natural grass seed or natural grass sod shall be prohibited. This shall include the area between the sidewalk and the curb.

9. Pools

Above or below-ground pools on lawn areas are prohibited. However, kiddie pools on lawns shall be permitted, but must be emptied and removed daily after use.

10. Permanent Outdoor Carpeting in Front of House or Rear Patio

Installation of permanent outdoor carpeting is prohibited in all walkways, driveways, front steps, porches and patios except for the COVERED porches of the Austin/Walton models.

11. Painting of Border Rocks or Stones

The painting of rock or stone borders, around the foundation of the house, is not permitted. It is to be left in a natural state.

12. Fire Pits/Chimineas

Wood burning fire pits and chimineas are not permitted as per Brick Township Fire Regulations. A gas grill may be used away from both the house and Residential Buffer Zone.

XIV. UTILITY BOX PLANTINGS

No shrubs or flowers may be planted on the front or on the back side of the utility boxes. A 10 -foot clearance is needed in front and behind the transformer cover so that the utility employees can properly service the transformer. Any shrubs planted on the sides of the utility boxes must be kept pruned so that the utility workers can open the cover. No raised edging blocks or fences of any material is permitted around the utility box.

XV. TREES AND SHRUBS NEAR THE STREET SIDEWALK LINE

All tree branches overhanging the sidewalk shall be pruned to a minimum of seven (7) feet up from the sidewalk.

XVI. EXTERIOR STORAGE OF TRASH, GARBAGE OR SUPPLIES

Exterior storage of trash, garbage or supplies, whether loose in plastic bags, or in containers, is prohibited. There shall be no exterior storage of work or garden equipment, including, but not limited to wheelbarrows, ladders, tools, or unused flowerpots. Garden hoses are permitted.

Residents shall only use the automated garbage and recycling containers provided by Brick Township. They should be placed at the curb no sooner than 4:00 P.M. on the day prior to the day of collection and placed indoors by 8:00 A.M. on the day following collection. The same schedule shall apply to recyclable containers.

GARBAGE CANS MUST BE STORED IN THE GARAGE ONLY.

Contact Brick Township Public Works Department to arrange bulk or metal pick-up.

XVII. DECK BOXES AND STORAGE/GARDEN CONTAINERS

One (1) small deck box, no larger than six (6) feet in length, thirty-six (36) inches in height and thirty-six inches deep, with a top hinged lid only, may be placed behind the air conditioner on either side of the house, but not on the street side if a corner property. It may also be placed on the rear patio at the rear of the house.

In addition, one (1) upright storage /garden container, measuring **no larger** than six (6) feet in height, three (3) feet wide and three (3) feet deep may be stored on the rear patio. A maximum of two (2) units (one of each) may be placed on each property. The storage units may not be made of wood and must be constructed of man-made materials. It must be stand-alone and may not be attached to the house. The color must blend in with the existing color of the house. Prior approval of the size, color and location of the storage unit(s) is required by the Architectural Committee.

XVIII. SEASONAL/HOLIDAY DECORATIONS

- A. Seasonal or holiday decorations shall not be displayed forty-five (45) days before the holiday and shall be removed within thirty (30) days after the respective holiday.
- B. Candles and luminaries (sand filled bags with candles) used to line sidewalks, driveways, etc. shall be prohibited.

XIX. UNADDRESSED ARCHITECTURAL ISSUES

ANYTHING NOT SPECIFICALLY ADDRESSED IN THE ARCHITECTURAL RULES
AND REGULATIONS MUST BE PRESENTED TO THE ARCHITECTURAL
COMMITTEE FOR CONSIDERATION PRIOR TO IMPLEMENTATION.



LIONS HEAD SOUTH ASSOCIATION, INC.

Architectural Tree Planting Regulations

Replacement trees must be at least eight (8) feet, measured from the level of the ground as specified in the Brick Township regulations.

Only the following trees may be planted,
which is consistent with the requirements of Brick Township:
(245-406 – Selection of Trees for Landscaped Areas).

“NO FLOWERING TREES ALLOWED IN REAR BUFFER ZONE”

RESIDENTIAL BUFFER ZONES

(rear and sides of houses)

Red Maple, Trident Maple, Norway Maple

Chinese Elm

Leyland Cypress

Japanese Cedar

Sweetgum

Black Tupelo

London Plane Tree

American Sycamore

Swamp Spanish Oak

Willow Oak

PLANTING IN REAR BUFFER ZONE ONLY

Spruce- all varieties

Pine- all varieties

Douglas Fir

STREET TREES

(must be deciduous)

Street trees must be planted so as not to interfere with the sprinkler system and shall be located at least fifteen (15) feet and no more than eighteen (18) feet from the curb and within an area bound by the width of the house.

A. For purposes of this Part 5, any reference to "**small trees**" shall include the following trees.

White Flowering Dogwood
Red Flowering Dogwood
Siberian Crab
Scheidecker Crab
Kwanzan Cherry
Redspire Pear
Regent Scholar Tree
Chinese Laceback Elm

B. For purposes of this Part 5, any reference to "**average sized trees**" shall include the following trees.

October glory maple
Katsura tree
Rosehill ash
Maidenhair tree
Shademaster Honey Locust (or Halka)
Kentucky Coffee
Greenspire Linden
Village Green Zelkova

C. For purposes of this Part 5, any reference to "**large trees**" shall include the following trees.

Sugar Maple
London Plane Tree
Northern Red Oak
Sovereign Pin Oak
Willow Oak

